

PLANNING PROPOSAL FOR WARRADALE ESTATE



PLANNING PROPOSAL AMENDMENT TO WOLLONDILLY LEP 2011

REZONING OF LAND FRONTING PRODUCTION AVENUE, SILVERDALE AND WARRADALE ROADS, IN THE LOCALITY OF SILVERDALE TO ALLOW FOR LOW DENSITY RESIDENTIAL, INDUSTRIAL AND ENVIRONMENTAL CONSERVATION USE.

DRAWING SCHEDULE

DRAWING NO.	DRAWING TITLE	REVISION
11103 LC01	COVER SHEET	A
11103 LC02	LOCALITY AERIAL	A
11103 LC03	LOCALITY MAP	A
11103 LC04	SITE ANALYSIS PLAN	C
11103 LC05	SUBDIVISION LAYOUT PLAN	C
11103 LC06	BUSHFIRE PROTECTION PLAN	C
11103 LC07	SUBJECT SITE AREAS	A



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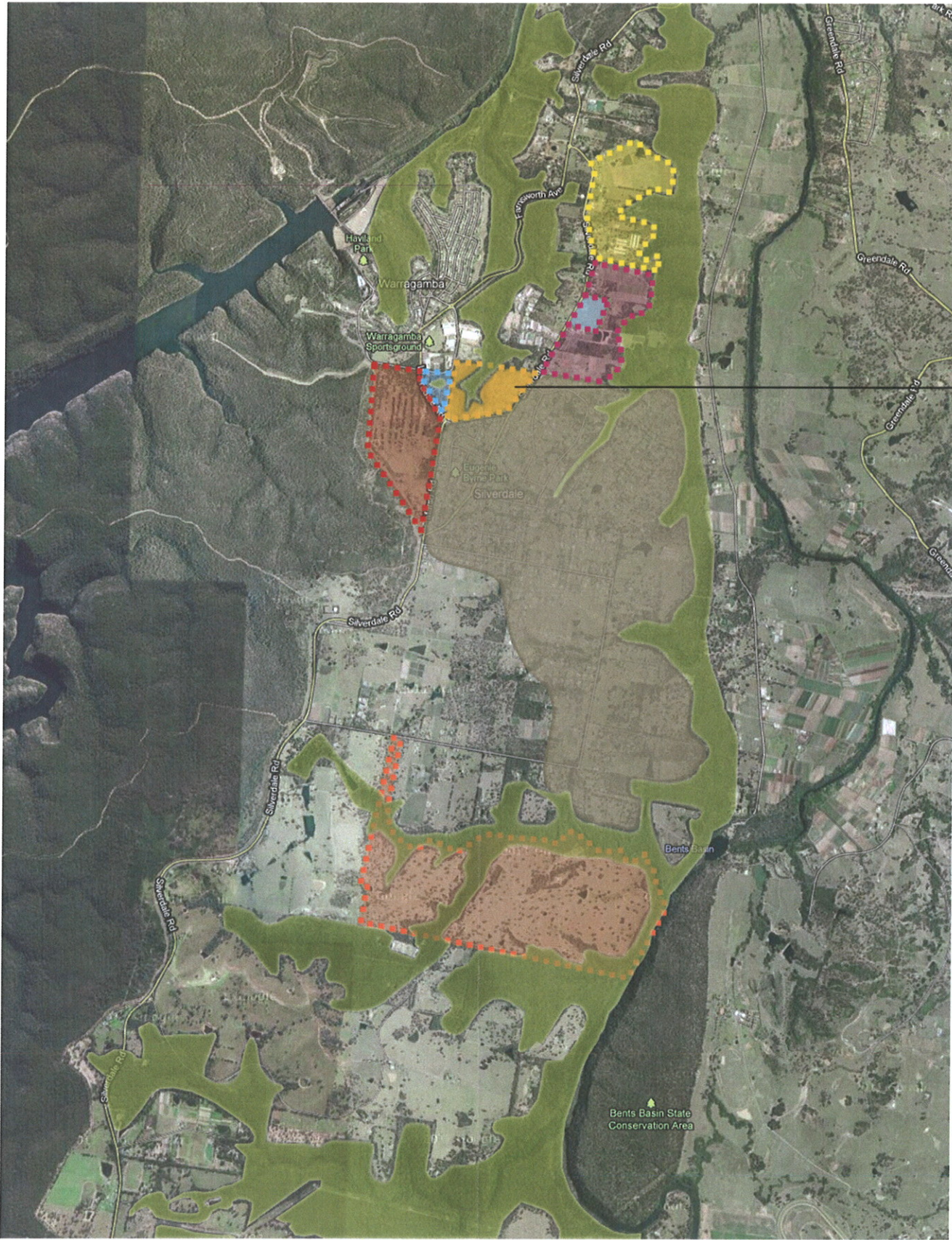
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A	11.05.2011	council submission	VM	KM	VM
issue	issue date	issue description	des	dwn	app
scale	project	dwg title			
NTS	WARRADALE ESTATE AND ADJOINING LAND	COVER SHEET			
	WARRADALE ROAD, SILVERDALE				
date	client	dwg no.			
09.05.11	TRN	LC01/07			
		project no.			
		11103			

KEY

- EXISTING VEGETATION
- SUNRISE HILL (POSSIBLE URBAN EXTENSION AND EDUCATION PRECINCT)
- RETAIL / COMMERCIAL PRECINCT
- RESIDENTIAL AND RURAL RESIDENTIAL INTERFACE
- WARRADALE ROAD
- FUN PARK
- AFRICAN LION PARK LEP (RESIDENTIAL AND CONSERVATION)
- BUSHRANGERS CREEK PLANNING PROPOSAL
- EXISTING MIXED RESIDENTIAL, RURAL RESIDENTIAL AND SMALL RURAL LOTS



WARRADALE ROAD ESTATE
REFER TO SITEPLUS DRAWING 11103 LC05



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planning engineering landscape design management

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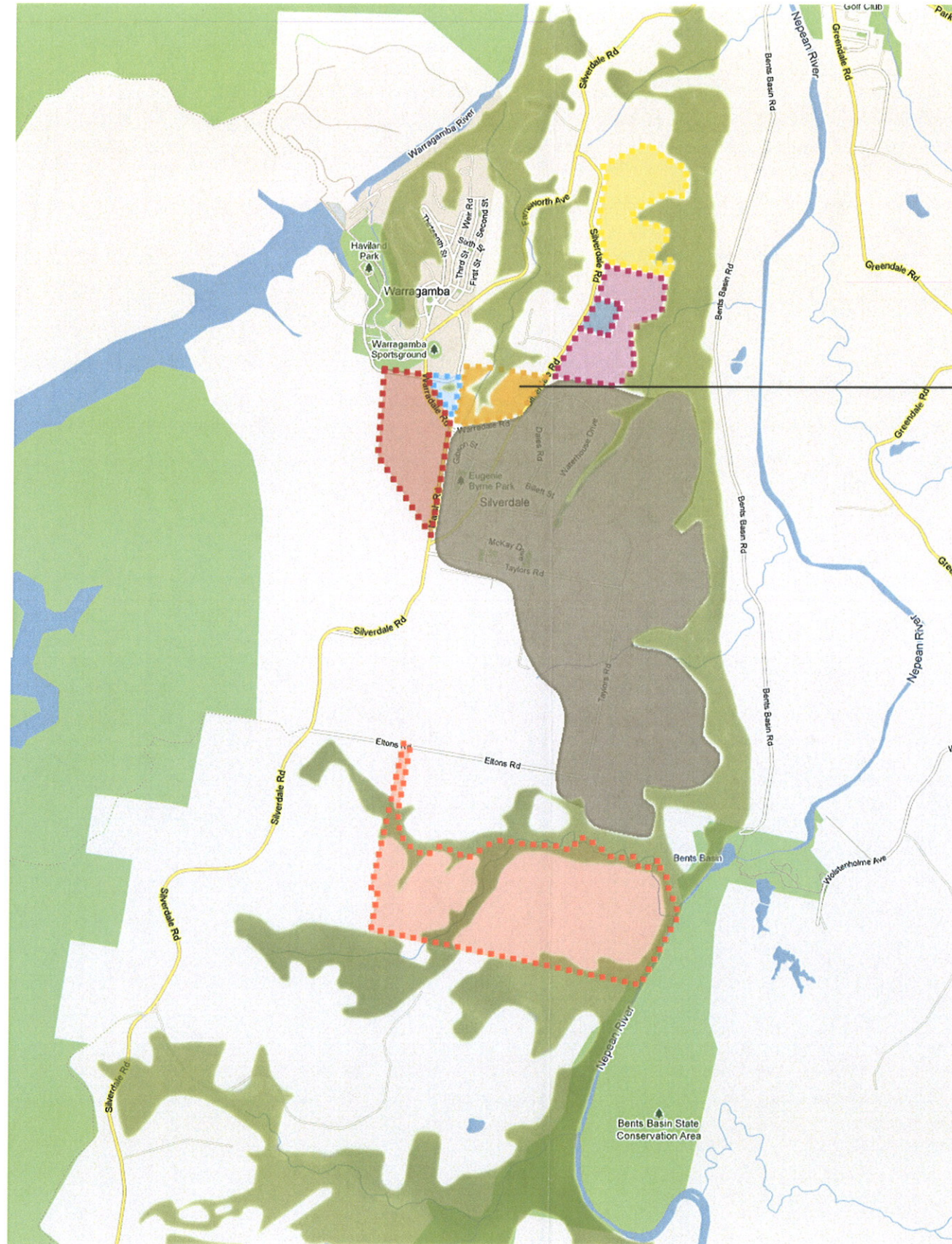
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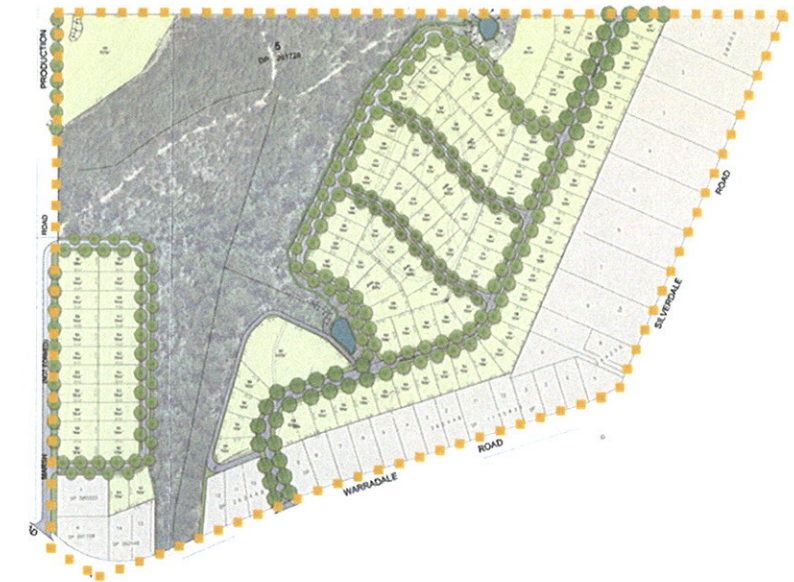
A	11.05.2011	council submission	VM	KM	VM
issue	issue date	issue description	des	dwn	app
scale	project	project	dwg title		
NTS	WARRADALE ESTATE AND ADJOINING LAND	WARRADALE ROAD, SILVERDALE	LOCALITY AERIAL		
date	client		dwg no.	project no.	
09.05.11	TRN		LC02/07	11103	

KEY

- | | |
|---|---|
|  | EXISTING
VEGETATION |
|  | SUNRISE HILL (POSSIBLE URBAN EXTENS
AND EDUCATION PRECINCT) |
|  | RETAIL / COMMERCIAL
PRECINCT |
|  | RESIDENTIAL AND RURAL
RESIDENTIAL INTERFACE |
|  | WARRADALE
ROAD |
|  | FUN
PARK |
|  | AFRICAN LION PARK LEP
(RESIDENTIAL AND CONSERVATION) |
|  | BUSHRANGERS CREEK
PLANNING PROPOSAL |
|  | EXISTING MIXED RESIDENTIAL, RURAL
RESIDENTIAL AND SMALL RURAL LOTS |



— WARRADALE ROAD ESTATE
REFER TO SITEPLUS DRAWING 11103 LC05



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A	11.05.2011
issue	issue date

council submission
issue description

VM	KM	VM
des	dwn	app

scale
NTS

project
WARRADALE ESTATE AND ADJOINING LAND
WARRADALE ROAD, SILVERDALE

dwg title
LOCALITY MAP

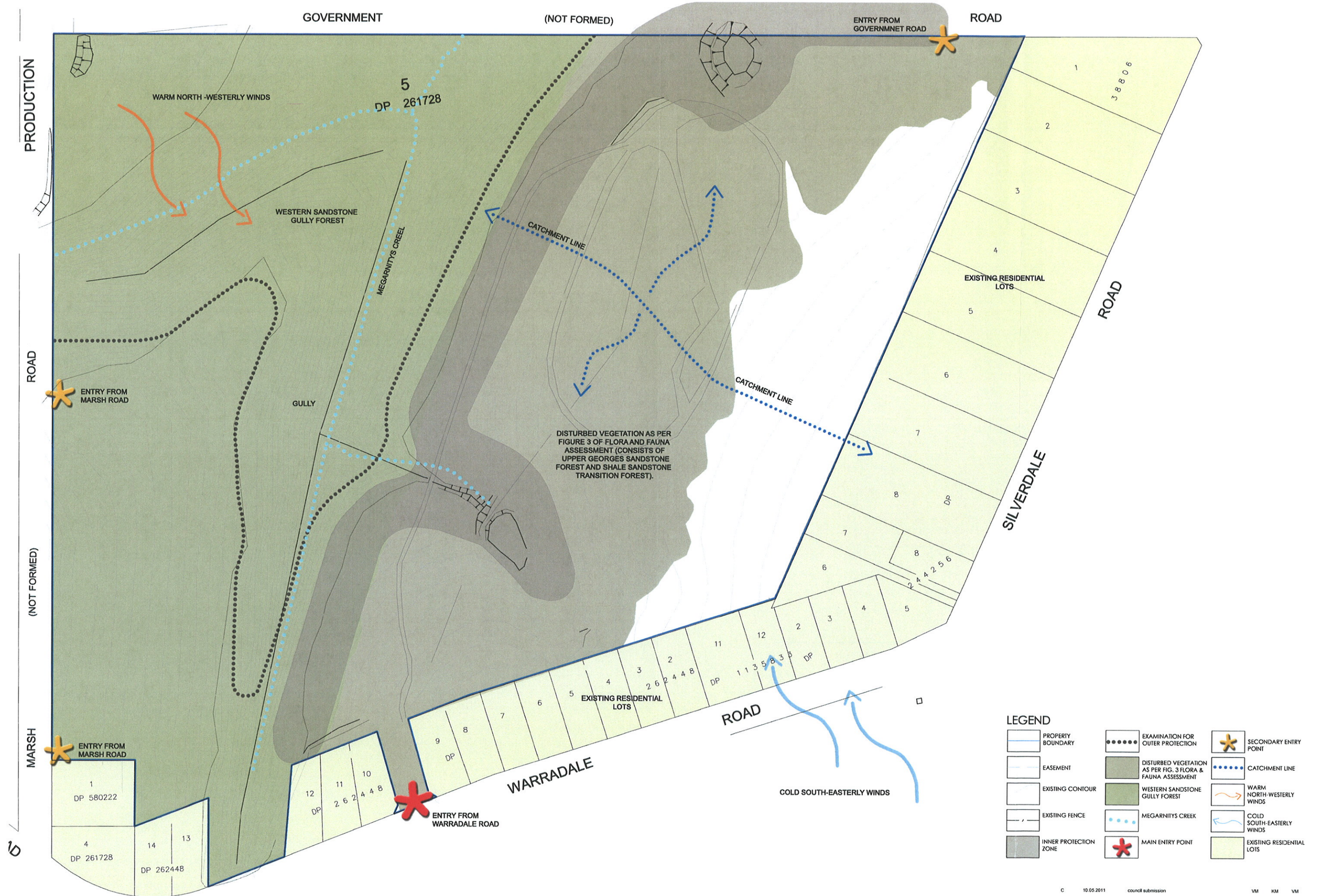
date
09.05.11

client
TRN

dwg no.
LC03/07

project no.
11103





LEGEND

	PROPERTY BOUNDARY		EXAMINATION FOR OUTER PROTECTION		SECONDARY ENTRY POINT
	EASEMENT		DISTURBED VEGETATION AS PER FIG. 3 FLORA & FAUNA ASSESSMENT		CATCHMENT LINE
	EXISTING CONTOUR		WESTERN SANDSTONE GULLY FOREST		WARM NORTH-WESTERLY WINDS
	EXISTING FENCE		MEGARNITYS CREEK		COLD SOUTH-EASTERLY WINDS
	INNER PROTECTION ZONE		MAIN ENTRY POINT		EXISTING RESIDENTIAL LOTS





LEGEND

PROPERTY BOUNDARY	TELSTRA
EASEMENT	SEWER
EXISTING CONTOUR	WATER
INNER PROTECTION ZONE	GAS
EXAMINATION FOR OUTER PROTECTION ZONE	ELECTRICITY

C 11.05.2011 council submission	VM KM VM
B 22.02.2011 client information	VM KM VM
A 15.02.2011 client information	VM KM VM
Issue issue date	des dwn app

scale AS SHOWN AT A1
date 08.02.11

project WARRADALE ESTATE AND ADJOINING LAND WARRADALE ROAD, SILVERDALE
client TRN

dwg title BUSHFIRE PROTECTION PLAN
dwg no LC06/07
project no. 11103



